

SITE TO BE FILLED TO DADE COUNTY FLOOD CRITERIA ELEVATION N.S.V.D. OR OR AN ELEVATION NO LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ADJUTING THE PROPERTY.

AREA ADJACENT TO LAKE OR CANAL TO BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO LAKE OR CANAL. LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER ONTO ADJACENT PROPERTY.

APPLICANT WILL PROVIDE CERTIFICATION PRIOR TO FINAL INSPECTION.

ANY APPLICABLE RESOLUTION

NOTICE

IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. SECTION 555.74(10), FLORIDA STATUTES EFFECTIVE 7/10/81.

A SEPARATE PERMIT WILL BE REQUIRED FOR ALL DRIVEWAY APPROACHES ONTO PUBLIC RIGHT OF WAY. CONTACT PUBLIC WORKS DEPARTMENT.

THE HEIGHT OF FENCES, WALL AND HEDGES SHALL NOT EXCEED 2.5 FEET

IN HEIGHT WITHIN 10 FEET OF THE EDGE OF ANY DRIVEWAY LEADING TO A RIGHT OF WAY.

THE HEIGHT OF FENCES IS BEING MEASURED FROM GRADE.

GRADE = ELEVATION OF PUBLIC SIDEWALK OR CROWN OF ROAD.

FLOOD LEGEND

COMPLIANCE WITH CHAPTER 116 OF THE MIAMI DADE COUNTY CODE
SPECIAL FLOOD HAZARD AREA (ZONE AH, AE)- OUTSIDE SPECIAL FLOOD HAZARD AREA (ZONE X)
RESIDENTIAL

PROCESS # _____ FOLIO # _____
TENTATIVE PLAT NO. = T-20234
LOT: _____ BLOCK: _____ PLAT BOOK _____ PAGE: _____

ADDRESS: _____ HIGHEST CROWN OF ROAD ELEV: _____
HIGHEST CROWN OF ROAD ELEVATION ABOVE WAS TAKEN FROM A CERTIFIED SURVEY PREPARED BY
LOUIS J. LEBRON PLS. LIC. # _____ #4428

	LOWEST FLOOR ELEV.	GARAGE/STORAGE	ADJACENT GRADE ELEV.	RETENTION AREA ELEV.
EXISTING				
PROPOSED	9.25'	9.25'	9.1'	

THE BEAM ELEVATION CERTIFICATE IS REQUIRED BEFORE MAKING ANY INSPECTIONS ABOVE THE LOWEST FLOOR AND A FINAL ELEVATION CERTIFICATE IS REQUIRED BEFORE ISSUANCE OF CERTIFICATION OF OCCUPANCY OR COMPLETION (COMPLETION HOLD 186) (116-3023) CALL 972-6685.

O.S.F.H. (OUTSIDE SPECIAL FLOOD HAZARD) ALL ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT MUST BE LOCATED AT OR ABOVE THE REQUIRED LOWEST FLOOR ELEVATION. S.F.H. (SPECIAL FLOOD HAZARD) ALL ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT MUST BE LOCATED AT OR ABOVE THE BASE FLOOD ELEVATION OR THE REQUIRED LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER.

LOWEST FLOOR - 116-3023 "SHALL MEAN THE LOWEST FLOOR OF THE LOWEST ENCLOSED AREA (INCLUDING BASEMENT). AN UNFINISHED OR FLOOD RESISTANT ENCLOSURE, USABLE FOR PARKING OR VEHICLE, BUILDING ACCESS OR STORAGE IN AN AREA OTHER THAN A BASEMENT AREA, IS NOT CONSIDERED A BUILDING'S LOWEST FLOOR, PROVIDED THAT SUCH ENCLOSURE IS NOT BUILT AS TO RENDER THE STRUCTURE IN VIOLATION OF THE APPLICABLE NON-ELEVATION DESIGN REQUIREMENTS IN 603 OF C.F.R. CH.110-11-00 EDITION". DADE COUNTY CODE SECTIONS 116-303, 116-304, 116-305.

GARAGE / STORAGE - 116-303 (1) (2) (3) (4) FULLY ENCLOSED AREAS BELOW THE BASE FLOOD ELEVATION SHALL BE DESIGNED TO PRECLUDE FINISHED LIVING SPACE EXCEPT ALLOWABLE USES (E. PARKING, LIMITED STORAGE AND BUILDING ACCESS) AND SHALL BE DESIGNED TO ALLOW FOR THE ENTRY AND EXIT OF FLOOD-WATERS TO AUTOMATICALLY EQUALIZE HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS. THE INTERIOR PORTION OF SUCH ENCLOSED AREA SHAL NOT BE PORTIONED OF FINISHED (FLOOD RESISTANT MATERIALS ONLY) INTO SEPARATE ROOMS OR AIR CONDITIONED. DESIGN FOR COMPLYING WITH THIS REQUIREMENT MUST BE EITHER CERTIFIED BY A PROFESSIONAL ENGINEER OR ARCHITECT OR MEET THE FOLLOWING CRITERIA: (1) PROVIDE A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE (1) SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED AREA SIZE. BOTTOM OF ALL OPENINGS SHALL BE NOT HIGHER THAN ONE (1) FOOT ABOVE GRADE.

HIGHEST ADJACENT GRADE - 116-302 (2) "SHALL MEAN THE HIGHEST FINISHED GRADE ELEVATION OF THE GROUND SURFACE NEXT TO THE PROPOSED WALLS OF THE STRUCTURE". 116-302 (4) "MINIMUM FINISHED GRADE SHALL MEAN THE ELEVATION ESTABLISHED IN DADE COUNTY FLOOD CRITERIA MAP AT A SPECIFIC DEVELOPMENT SITE OR CROWN OF ROAD ELEVATION OF AN EXISTING ADJACENT ROAD, WHICHEVER IS HIGHER (OR WAIVER MUST BE OBTAINED). SITE GRADINGS MUST BE PROVIDED IN A MANNER SO AS TO RETAIN RUN-OFF WITHIN THE SITE AND PREVENT RUN-OFF INTO ADJACENT PROPERTY AS WELL AS DIRECT SURFACE WATER RUN-OFF INTO LAKES OR CANALS.

SOIL CONDITION NOTE

THE SOIL CONDITIONS AT THIS SITE ARE UNDISTURBED SAND AND ROCK WHICH IS ADEQUATE TO SUPPORT THE DESIGN LOAD OF 2000 PSF.

THIS SITE HAS BEEN OBSERVED BY THIS ARCHITECT AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE FOOTING DESIGN IS BASED. THE FOUNDATION HAS BEEN DESIGNED TO A DESIGN LOAD OF 2000 POUNDS PER SQUARE FOOT.

A LETTER TO THIS EFFECT WILL BE ISSUED TO THE BUILDING INSPECTOR AT THE TIME OF SLAB INSPECTION, SIGNED AND SEALED BY THE ARCHITECT.

FILL REQUIRED FOR SUPPORT OF SLAB ON GRADE CONDITIONS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY UNDER THE SUPERVISION OF A SPECIAL INSPECTOR. A LETTER FROM THE SPECIAL INSPECTOR SHALL SUBMITTED TO THE MIAMI-DADE BUILDINGS INSPECTOR, AT THE TIME OF INSPECTION

LOWEST FINISHED FLOOR ELEVATION (INCLUDING BASEMENT)			
DISTRICT	AN	ELEVATION	7.00
CITY FLOOD CRITERIA	5.0'	CROWN OF ROAD	
DISTRICTS	CANAL	S.F.H.	OTHER
REQUIRED			
PROPOSED		9.25'	
LOWEST FLOOR AS-BUILT ELEVATION SURVEY IS REQUIRED BEFORE MAKING ANY INSPECTION ABOVE LOWEST FLOOR			
"SHALL BE 11" INCHES ABOVE FINISHED GRADE			

LOCATION MAP

NTS

SITE PLAN OF BLACK CREEK ESTATES

ZONING RU-1
HEIGHT TO RIDGE OF ROOF
NET LAND AREA
LOT COVERAGE (EVERYTHING UNDER ROOF)
SETBACKS FRONT
SIDE
SIDE STREET
REAR
LOT AREA
LOT COVERAGE

24'-0"
12501 SF
1700'
25'-1"
26'-6 1/2"
58'-8"
12501 SF
15.6%

TYPICAL SITE PLAN

LEGAL DESCRIPTION

LOT / BLOCK

TENTATIVE PLAT NO. T-20234
BLACK CREEK ESTATES SUBDIVISION
PLAT BOOK , PAGE
DADE COUNTY FLORIDA

SOURCE OF WATER - WELL _____
CENTRAL W.T. R. _____
NAME OF CO. _____
SEWER DISPOSAL SEPTIC TANK _____
CENTRAL COLLECTION SYSTEM _____
NAME OF CO. _____

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OR RELOCATION OF GAS LINES IN THE PATH OF CONSTRUCTION

RECEIVED
APR 03 2002
ZONING HEARING SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.
BY _____

APPROVED FOR MASTER MODEL	
METRO DADE COUNTY	DATE
BLOG. _____	01-29-02
STRU. _____	1/29/02
PLUM. _____	
ELEC. _____	
MECH. _____	
ENERGY _____	
PLANNING DEVELOPMENT AND REGULATION DEPARTMENT	
THIS IS AN OFFICIAL APPROVED DRAWING.	
SEALS WILL BE NULL AND VOID IF ALTERED	

REVISIONS

FLA. REG. 5044

DONALD F. BAGGESEN ARCHITECT

3510 BISCAYNE BOULEVARD SUITE 203 B
MIAMI FLORIDA, 33137 (305)-576-0631

VALENCIA GROVE ESTATES

VALENCIA GROVE ESTATES AND BLACK CREEK SUBDIVISIONS
POINCIANA DEVELOPMENT COMPANY II
1265 SW 107 AVENUE
MIAMI FLORIDA 33175
PHONE 305-254-8863

GRANADA 5 MODEL (C)

SHEET NO 1 OF 20

SITE TO BE FILLED TO DADE COUNTY FLOOD CRITERIA ELEVATION N.G.V.D. OR
OR AN ELEVATION NO LESS THAN THE HIGHEST APPROVED GROWN ELEVATION
OF THE ROAD ADJOINING THE PROPERTY.

AREA ADJACENT TO LAKE OR CANAL TO BE GRADED SO AS TO PREVENT
DIRECT OVERLAND DISCHARGE OF STORMWATER INTO LAKE OR CANAL.
LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF
STORMWATER ONTO ADJACENT PROPERTY.
APPLICANT WILL PROVIDE CERTIFICATION PRIOR TO FINAL INSPECTION.

ANY APPLICABLE RESOLUTION

NOTICE

IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL
RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE
PUBLIC RECORDS OF THIS COUNTY. SECTION 222.14(10), FLORIDA STATUTES
EFFECTIVE 7/10/87.

A SEPARATE PERMIT WILL BE REQUIRED FOR ALL DRIVEWAY APPROACHES ONTO
PUBLIC RIGHT OF WAY. CONTACT PUBLIC WORKS DEPARTMENT.
THE HEIGHT OF FENCES, WALLS AND HEDGES SHALL NOT EXCEED 2.5 FEET
IN HEIGHT WITHIN 10 FEET OF THE EDGE OF ANY DRIVEWAY LEADING TO A
RIGHT OF WAY.

THE HEIGHT OF FENCES IS BEING MEASURED FROM GRADE.

GRADE = ELEVATION OF PUBLIC SIDEWALK OR CROWN OF ROAD.

FLOOD LEGEND

COMPLIANCE WITH CHAPTER 11C OF THE MIAMI DADE COUNTY CODE
SPECIAL FLOOD HAZARD AREA (ZONE AH, AE) - OUTSIDE SPECIAL FLOOD HAZARD AREA (ZONE X)
RESIDENTIAL

PROCESS #	FOLIO #			
LOT:	BLOCK:	TENTATIVE PLAT NO. # T-20474	PAGE:	
ADDRESS:		HIGHEST GROWN OF ROAD ELEV.:		
LOUIS J. LEBRON		PLS LIC. # 44228		
EXISTING	LOWEST FLOOR ELEV.	GARAGE/STORAGE	ADJACENT GRADE ELEV.	RETENTION AREA ELEV.
PROPOSED	10.0'	9.42'	9.1'	

THE BEAM ELEVATION CERTIFICATE IS REQUIRED BEFORE MAKING ANY INSPECTIONS ABOVE THE LOWEST FLOOR AND A FINAL ELEVATION CERTIFICATE
IS REQUIRED BEFORE ISSUANCE OF CERTIFICATION OF OCCUPANCY OR COMPLETION (COMPLETION HOLD 186) (11C-302) CALL 972-6688.

O.S.F.H. (OUTSIDE SPECIAL FLOOD HAZARD) ALL ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT MUST BE LOCATED AT OR ABOVE THE REQUIRED
LOWEST FLOOR ELEVATION. S.F.H. (SPECIAL FLOOD HAZARD) ALL ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT MUST BE LOCATED AT OR ABOVE
THE BASE FLOOD ELEVATION OR THE REQUIRED LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER.

LOWEST FLOOR - 11C-2(2)(B) SHALL MEAN THE LOWEST FLOOR OF THE LOWEST ENCLOSED AREA (INCLUDING BASEMENT). AN UNFINISHED OR FLOOD
RESISTANT ENCLOSURE, USABLE FOR PARKING OR VEHICLE, BUILDING ACCESS OR STORAGE IN AN AREA OTHER THAN A BASEMENT AREA, IS NOT CONSIDERED A
BUILDING'S LOWEST FLOOR, PROVIDED THAT SUCH ENCLOSURE IS NOT BUILT AS TO RENDER THE STRUCTURE IN VIOLATION OF THE APPLICABLE NON-ELEVATION
DESIGN REQUIREMENTS IN 609 OF C.F.R. CH.1(10-1)-88 EDITION. DADE COUNTY CODE SECTIONS 11C-3(1) C-4, 11C-5.

GARAGE / STORAGE - (S.F.H. 11C-5 (F)) FULLY ENCLOSED AREAS BELOW THE BASE FLOOD ELEVATION SHALL BE DESIGNED TO PRECLUDE FINISHED
LIVING SPACE EXCEPT ALLOWABLE USES (E. PARKING, LIMITED STORAGE AND BUILDING ACCESS) AND SHALL BE DESIGNED TO ALLOW FOR THE ENTRY AND EXIT
OF FLOODWATERS TO AUTOMATICALLY EQUALIZE HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS. THE INTERIOR PORTION OF SUCH ENCLOSED AREA SHALL
NOT BE PORTIONED OF FINISHED (FLOOD RESISTANT MATERIALS ONLY) INTO SEPARATE ROOMS OR AIR CONFINED. DESIGN FOR COMPLYING WITH THIS
REQUIREMENT MUST BE EITHER CERTIFIED BY A PROFESSIONAL ENGINEER OR ARCHITECT OR MEET THE FOLLOWING CRITERIA: (1) PROVIDE A MINIMUM OF
TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE (1) SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED AREA SIZE. BOTTOM OF ALL
OPENINGS SHALL BE NOT HIGHER THAN ONE (1) FOOT ABOVE GRADE.

HIGHEST ADJACENT GRADE - 11C-2(2) SHALL MEAN THE HIGHEST FINISHED GRADE ELEVATION OF THE GROUND SURFACE NEXT TO THE PROPOSED
WALLS OF THE STRUCTURE. 11C-2(2)(A) MINIMUM FINISHED GRADE SHALL MEAN THE ELEVATION ESTABLISHED IN DADE COUNTY FLOOD CRITERIA MAP
AT A SPECIFIC DEVELOPMENT SITE OR GROWN OF ROAD ELEVATION OF AN EXISTING ADJACENT ROAD, WHICHEVER IS HIGHER (OR HIGHER MUST BE
OBTAINED). SITE GRADINGS MUST BE PROVIDED IN A MANNER SO AS TO RETAIN RUN-OFF WITHIN THE SITE AND PREVENT RUN-OFF INTO ADJACENT PROPERTY
AS WELL AS DIRECT SURFACE WATER RUN-OFF INTO LAKES OR CANALS.

SOIL CONDITION NOTE

THE SOIL CONDITIONS AT THIS SITE ARE UNDISTURBED SAND AND ROCK WHICH IS ADEQUATE TO SUPPORT
THE DESIGN LOAD OF 2000 PSF.

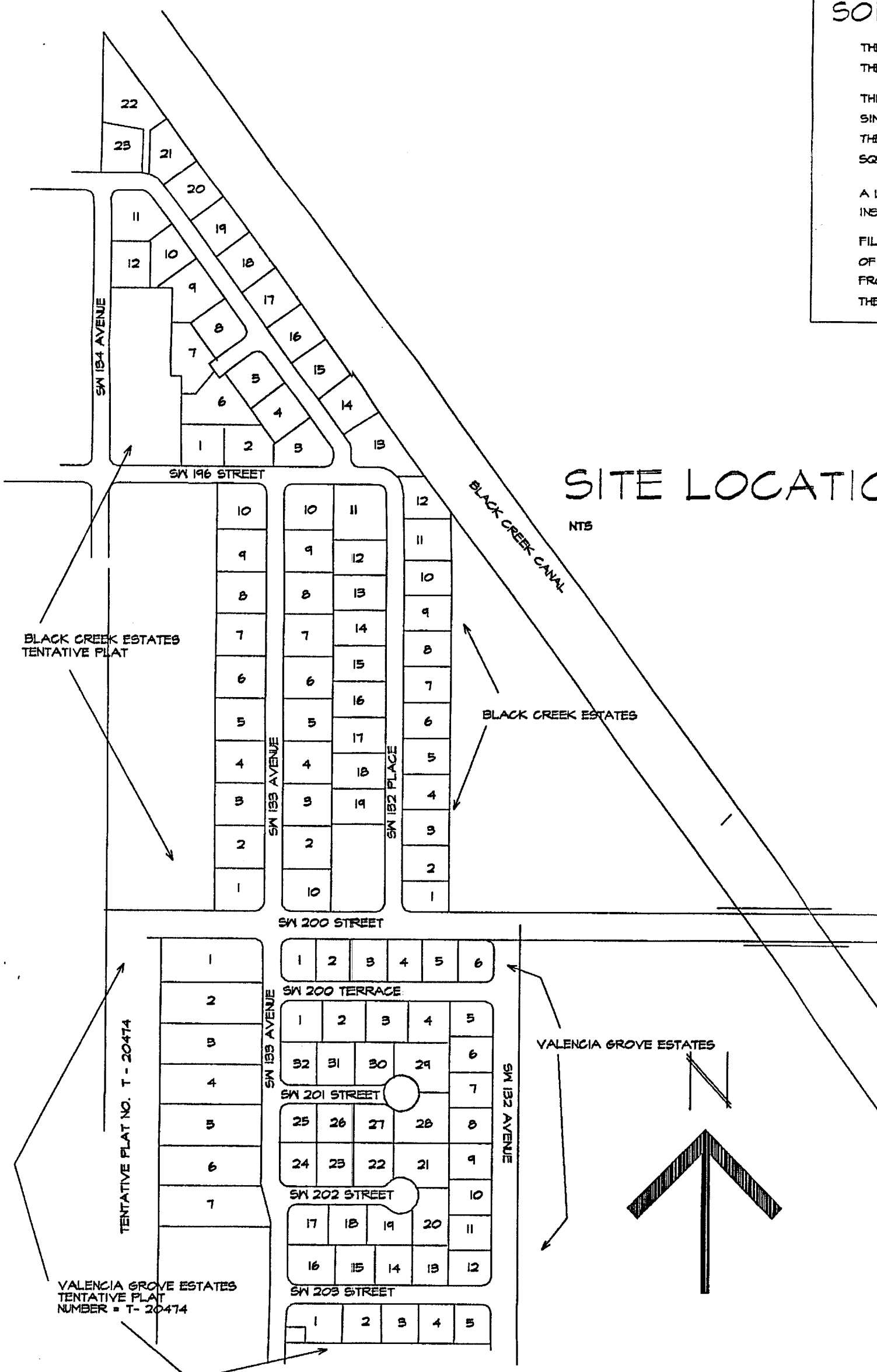
THIS SITE HAS BEEN OBSERVED BY THIS ARCHITECT AND THE FOUNDATION CONDITIONS ARE
SIMILAR TO THOSE UPON WHICH THE FOOTING DESIGN IS BASED.
THE FOUNDATION HAS BEEN DESIGNED TO A DESIGN LOAD OF 2000 POUNDS PER
SQUARE FOOT.

A LETTER TO THIS EFFECT WILL BE ISSUED TO THE BUILDING INSPECTOR AT THE TIME OF SLAB
INSPECTION, SIGNED AND SEALED BY THE ARCHITECT.

FILL REQUIRED FOR SUPPORT OF SLAB ON GRADE CONDITIONS SHALL BE COMPACTED TO 95%
OF MAXIMUM DENSITY UNDER THE SUPERVISION OF A SPECIAL INSPECTOR. A LETTER
FROM THE SPECIAL INSPECTOR SHALL SUBMITTED TO THE MIAMI-DADE BUILDING INSPECTOR, AT
THE TIME OF INSPECTION.

LOWEST FINISHED FLOOR ELEVATION (INCLUDING BASEMENT)			
DISTRICT	GNL	S.F.H.	OTHER
REQUIRED			
PROPOSED		10.0'	
LOWEST FLOOR AS-BUILT ELEVATION SURVEY IS REQUIRED BEFORE MAKING ANY INSPECTION ABOVE LOWEST FLOOR			
*SHALL BE 1" INCHES ABOVE FINISHED GRADE			

SITE LOCATION



SITE TO BE FILLED TO DADE COUNTY FLOOD CRITERIA ELEVATION N.A.V.D. OR
OR AN ELEVATION NO LESS THAN THE HIGHEST APPROVED CROWN ELEVATION
OF THE ROAD ADJUTING THE PROPERTY.

AREA ADJACENT TO LAKE OR CANAL TO BE GRADED SO AS TO PREVENT
DIRECT OVERLAND DISCHARGE OF STORMWATER INTO LAKE OR CANAL.
LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF
STORMWATER ONTO ADJACENT PROPERTY.

APPLICANT WILL PROVIDE CERTIFICATION PRIOR TO FINAL INSPECTION.

ANY APPLICABLE RESOLUTION

NOTICE

IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL
RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE
PUBLIC RECORDS OF THIS COUNTY. SECTION 899.14(1)(2), FLORIDA STATUTES
EFFECTIVE 7/10/87.

A SEPARATE PERMIT WILL BE REQUIRED FOR ALL DRIVEWAY APPROACHES ONTO
PUBLIC RIGHT OF WAY. CONTACT PUBLIC WORKS DEPARTMENT.
THE HEIGHT OF FENCES, WALL AND HEDGES SHALL NOT EXCEED 2.5 FEET
IN HEIGHT WITHIN 10 FEET OF THE EDGE OF ANY DRIVEWAY LEADING TO A
RIGHT OF WAY.

THE HEIGHT OF FENCES IS BEING MEASURED FROM GRADE.

GRADE = ELEVATION OF PUBLIC SIDEWALK OR CROWN OF ROAD.

FLOOD LEGEND

COMPLIANCE WITH CHAPTER 11C OF THE MIAMI DADE COUNTY CODE
SPECIAL FLOOD HAZARD AREA (ZONE AH, AE), OUTSIDE SPECIAL FLOOD HAZARD AREA (ZONE X)
RESIDENTIAL

PROCESS #	FOLIO #			
LOT:	BLOCK:	TENTATIVE PLAT NO. # T-20474		PAGE:
ADDRESS:		HIGHEST CROWN OF ROAD ELEV.		
LOUIS J. LEBRON		PLS LIC.#: #4428		
EXISTING	LOWEST FLOOR ELEV.	GARAGE/STORAGE	ADJACENT GRADE ELEV.	RETENTION AREA ELEV.
PROPOSED	10.0'	9.42'	9.1'	

THE BEAM ELEVATION CERTIFICATE IS REQUIRED BEFORE MAKING ANY INSPECTIONS ABOVE THE LOWEST FLOOR AND A FINAL ELEVATION CERTIFICATE
IS REQUIRED BEFORE ISSUANCE OF CERTIFICATION OF OCCUPANCY OR COMPLETION (COMPLETION HOLD 108) (11C-302) CALL 972-6685.

O.S.F.H. (OUTSIDE SPECIAL FLOOD HAZARD) ALL ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT MUST BE LOCATED AT OR ABOVE THE REQUIRED
LOWEST FLOOR ELEVATION. S.F.H. (SPECIAL FLOOD HAZARD) ALL ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT MUST BE LOCATED AT OR ABOVE
THE BASE FLOOD ELEVATION OR THE REQUIRED LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER.

LOWEST FLOOR - 11 C-2(BB) "SHALL MEAN THE LOWEST FLOOR OF THE LOWEST ENCLOSED AREA (INCLUDING BASEMENT). AN UNFINISHED OR FLOOD
RESISTANT ENCLOSURE, USABLE FOR PARKING OR VEHICLE, BUILDING ACCESS OR STORAGE IN AN AREA OTHER THAN A BASEMENT AREA, IS NOT CONSIDERED A
BUILDING'S LOWEST FLOOR, PROVIDED THAT SUCH ENCLOSURE IS NOT BUILT AS TO RENDER THE STRUCTURE IN VIOLATION OF THE APPLICABLE NON-ELEVATION
DESIGN REQUIREMENTS IN 60.2 OF CFR CH.110-11-88 EDITION". DADE COUNTY CODE SECTIONS 11 C-3(1) C-4, 11 C-5.

GARAGE / STORAGE - (S.F.H. (1) C-5 (P)) FULLY ENCLOSED AREAS BELOW THE BASE FLOOD ELEVATION SHALL BE DESIGNED TO PRECLUDE FINISHED
LIVING SPACE EXCEPT ALLOWABLE USES (I.E. PARKING, LIMITED STORAGE AND BUILDING ACCESS AND SHALL BE DESIGNED TO ALLOW FOR THE ENTRY AND EXIT
OF FLOOD-WATERS TO AUTOMATICALLY EQUALIZE HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS. THE INTERIOR PORTION OF SUCH ENCLOSED AREA SHA
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REQUIREMENT MUST BE EITHER CERTIFIED BY A PROFESSIONAL ENGINEER OR ARCHITECT OR MEET THE FOLLOWING CRITERIA (1) PROVIDE A MINIMUM OF
TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE (1) SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED AREA SIZE. BOTTOM OF ALL
OPENINGS SHALL BE NOT HIGHER THAN ONE (1) FOOT ABOVE GRADE.

HIGHEST ADJACENT GRADE - 11 C-2(2) "SHALL MEAN THE HIGHEST FINISHED GRADE ELEVATION OF THE GROUND SURFACE NEXT TO THE PROPOSED
WALLS OF THE STRUCTURE". 11 C-2(6A) "MINIMUM FINISHED GRADE SHALL MEAN THE ELEVATION ESTABLISHED IN DADE COUNTY FLOOD CRITERIA MAP
AT A SPECIFIC DEVELOPMENT SITE OR CROWN OF ROAD ELEVATION OF AN EXISTING ADJACENT ROAD, WHICHEVER IS HIGHER (OR HIGHER MUST BE
OBTAINED). SITE GRADING MUST BE PROVIDED IN A MANNER SO AS TO RETAIN RUN-OFF WITHIN THE SITE AND PREVENT RUN-OFF INTO ADJACENT PROPERTY
AS WELL AS DIRECT SURFACE WATER RUN-OFF INTO LAKES OR CANALS.

SOIL CONDITION NOTE

THE SOIL CONDITIONS AT THIS SITE ARE UNDISTURBED SAND AND ROCK WHICH IS ADEQUATE TO SUPPORT
THE DESIGN LOAD OF 2000 PSF.

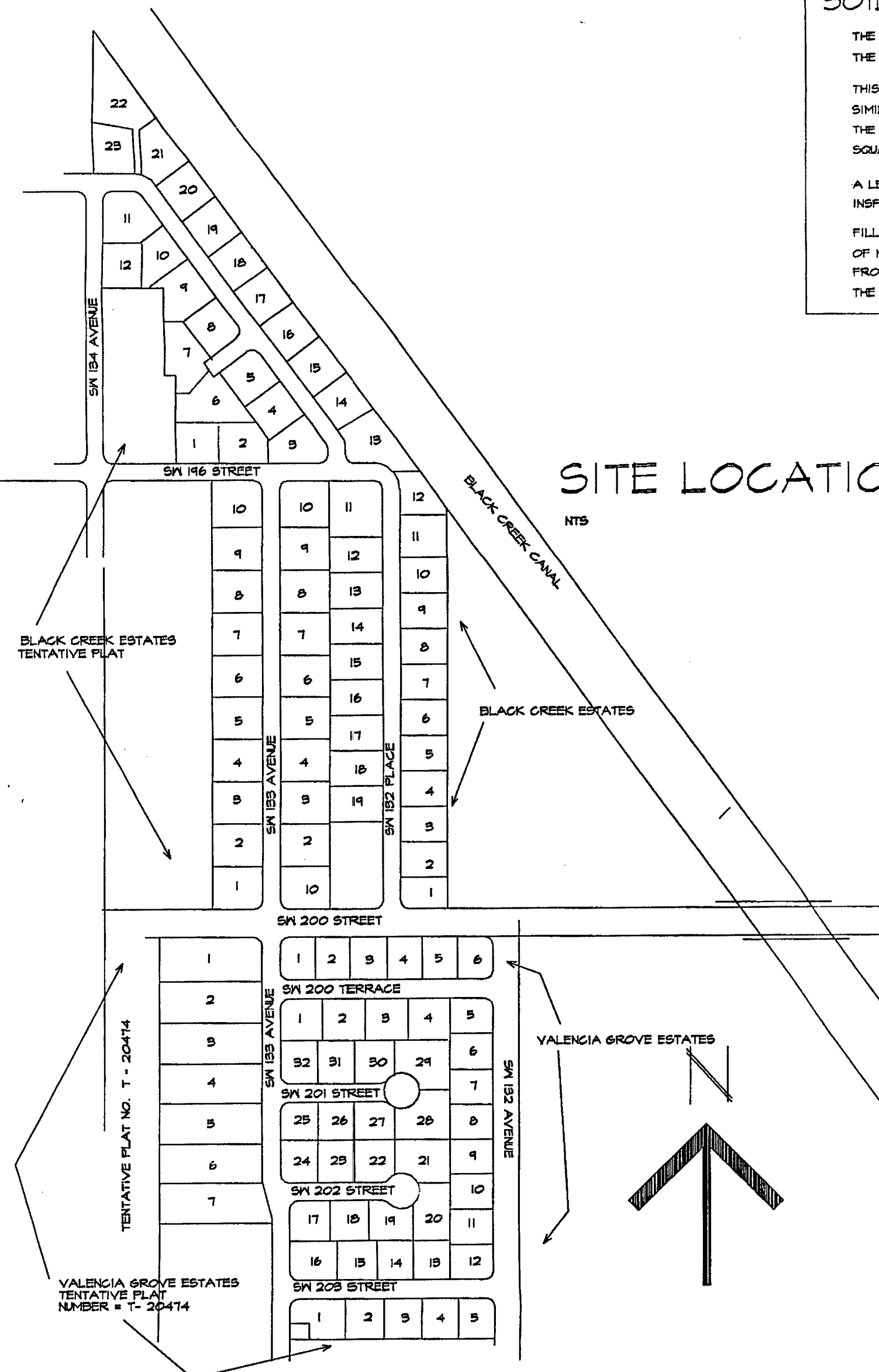
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A LETTER TO THIS EFFECT WILL BE ISSUED TO THE BUILDING INSPECTOR AT THE TIME OF SLAB
INSPECTION, SIGNED AND SEALED BY THE ARCHITECT.

FILL REQUIRED FOR SUPPORT OF SLAB ON GRADE CONDITIONS SHALL BE COMPACTED TO 95%
OF MAXIMUM DENSITY UNDER THE SUPERVISION OF A SPECIAL INSPECTOR. A LETTER
FROM THE SPECIAL INSPECTOR SHALL SUBMITTED TO THE MIAMI-DADE BUILDING INSPECTOR, AT
THE TIME OF INSPECTION

LOWEST FINISHED FLOOR ELEVATION (INCLUDING BASEMENT)			
DISTRICT: A1	ELEVATION: 100		
CITY FLOOD CRITERIA: 10'	CROWN OF ROAD: 10.0'		
DISTRICTS	CNA	RPA	OTHER
REQUIRED			
PROPOSED			
LOWEST FLOOR AS-BUILT ELEVATION SURVEY IS REQUIRED BEFORE MAKING ANY INSPECTION ABOVE LOWEST FLOOR			
*SHALL BE 1" INCHES ABOVE FINISHED GRADE			

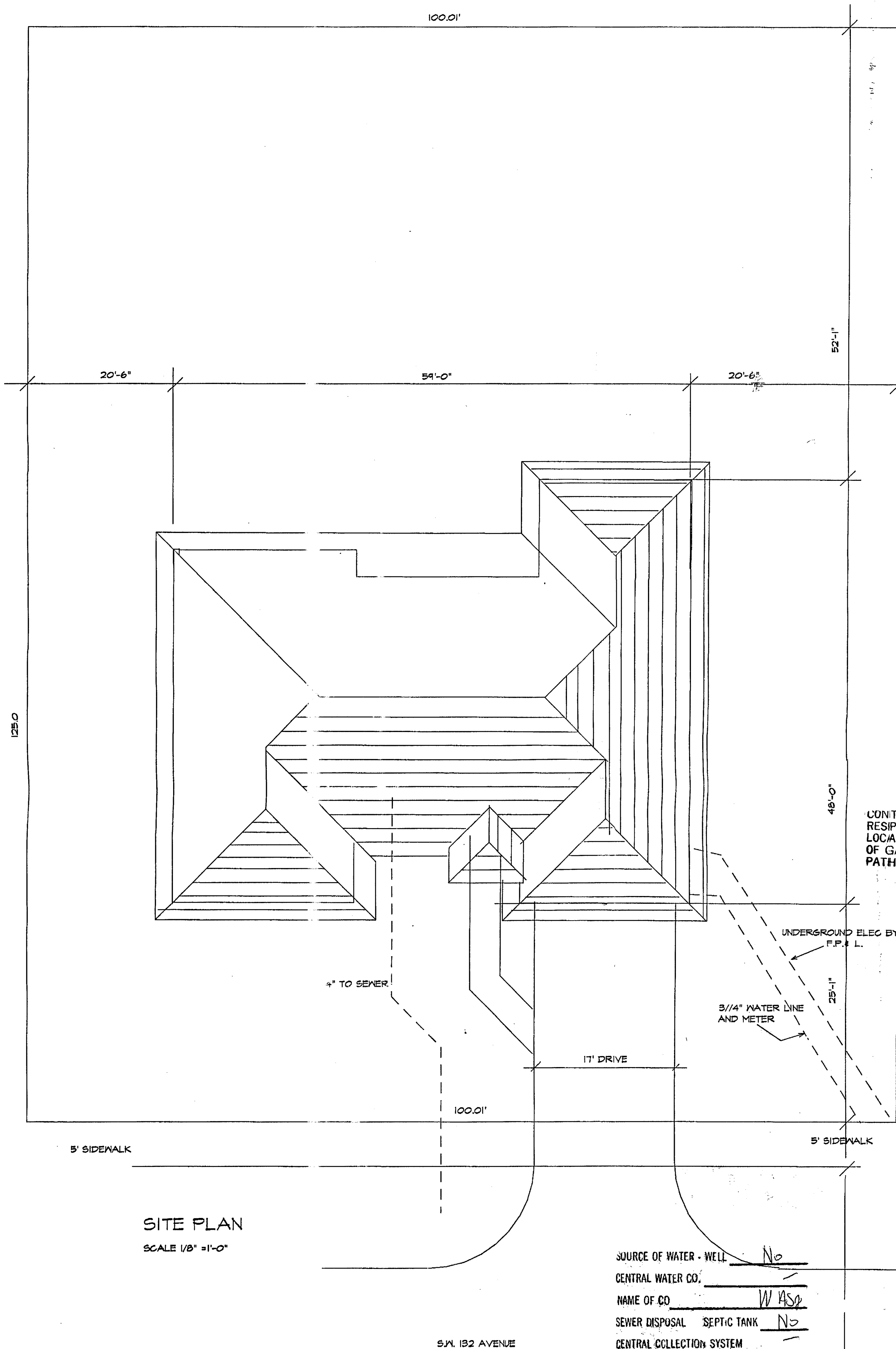
SITE LOCATION



ZONING RU - 1
HEIGHT TO RIDGE OF ROOF
NET LAND AREA
LOT COVERAGE (EVERYTHING UNDER ROOF)
SETBACKS FRONT
SIDE
SIDE STREET
REAR
LOT AREA
LOT COVERAGE

18'-0"
12501 SF
2724'
25'-1"
20'-1"
50'-8"
12501 SF
22.1%

APPROVED FOR MASTER MODEL	
BY	DATE
3/13/13	3/13/13
BLDG.	
STRUC.	
PLUMB.	
ELEC.	
MECH.	
ENERGY	
PLANNING DEVELOPMENT AND REGULATION DEPARTMENT	
THIS IS AN OFFICIAL APPROVED DRAWING.	
REPLAS WILL BE NULL AND VOID IF ALTERED	



CONTRACTOR SHALL BE
RESPONSIBLE FOR THE
LOCATION OR RELOCATION
OF GAS LINES IN THE
PATH OF CONSTRUCTION

RECEIVED
APR 09 2013
ZONING HEARINGS SECTION
MIAMI-DADE PLANNING AND ZONING DEPT.

EMERALD 4 MODEL

SOURCE OF WATER - WELL No
CENTRAL WATER CO. No
NAME OF CO. W. K. S.
SEWER DISPOSAL SEPTIC TANK No
CENTRAL COLLECTION SYSTEM No
NAME OF CO. W. K. S.

TYPICAL SITE PLAN

LEGAL DESCRIPTION

LOT / BLOCK

VALENCINA GROVE ESTATES SUBDIVISION
TENTATIVE PLAT NO. T - 20474
DADE COUNTY FLORIDA

REVISIONS

FLA. REG. 5044

DONALD F. BAGGESEN ARCHITECT

3510 BISCAYNE BOULEVARD SUITE 203 B
MIAMI FLORIDA, 33137 (305)-576-0631

VALENCINA GROVE ESTATES

VALENCINA GROVE ESTATES AND BLACK CREEK ESTATES SUBDIVISION
POINCIANA DEVELOPMENT COMPANY II
8065 SN 107 AVENUE
MIAMI FLORIDA 33173
PHONE 305-254-0363

SHEET NO 1-A

OF 20

NOTICE

IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. SECTION 598.10(10), FLORIDA STATUTES EFFECTIVE 7/10/87.

A SEPARATE PERMIT WILL BE REQUIRED FOR ALL DRIVEWAY APPROACHES ONTO A PUBLIC RIGHT OF WAY. CONTACT PUBLIC WORKS DEPARTMENT.

THE HEIGHT OF FENCES, WALLS AND HEDGES SHALL NOT EXCEED 2.5 FEET

IN HEIGHT WITHIN 10 FEET OF THE EDGE OF ANY DRIVEWAY LEADING TO A RIGHT OF WAY.

THE HEIGHT OF FENCES IS BEING MEASURED FROM GRADE.

GRADE = ELEVATION OF PUBLIC SIDEWALK OR CROWN OF ROAD.

	LOWEST FLOOR ELEV.	GARAGE/STORAGE	ADJACENT GRADE ELEV.	RETENTION AREA ELEV.
EXISTING				
PROPOSED	10.0'	9.42'	9.1'	

HIGHEST ADJACENT GRADE - II C-2(2) "SHALL MEAN THE HIGHEST FINISHED GRADE ELEVATION OF THE GROUND SURFACE NEXT TO THE PROPOSED WALLS OF THE STRUCTURE". I.C-2(2)(6) "MINIMUM FINISHED GRADE SHALL MEAN THE ELEVATION ESTABLISHED IN DADE COUNTY FLOOD CRITERIA MAP AT A SPECIFIC DEVELOPMENT SITE OR CROWN OF ROAD ELEVATION OF AN EXISTING ADJACENT ROAD, WHICHEVER IS HIGHER (OR MAVER MUST BE OBTAINED). SITE GRADING MUST BE PROVIDED IN A MANNER SO AS TO RETAIN RUN-OFF WITHIN THE SITE AND PREVENT RUN-OFF INTO ADJACENT PROPERTY AS WELL AS DIRECT SURFACE WATER RUN-OFF INTO LAKES OR CANALS.

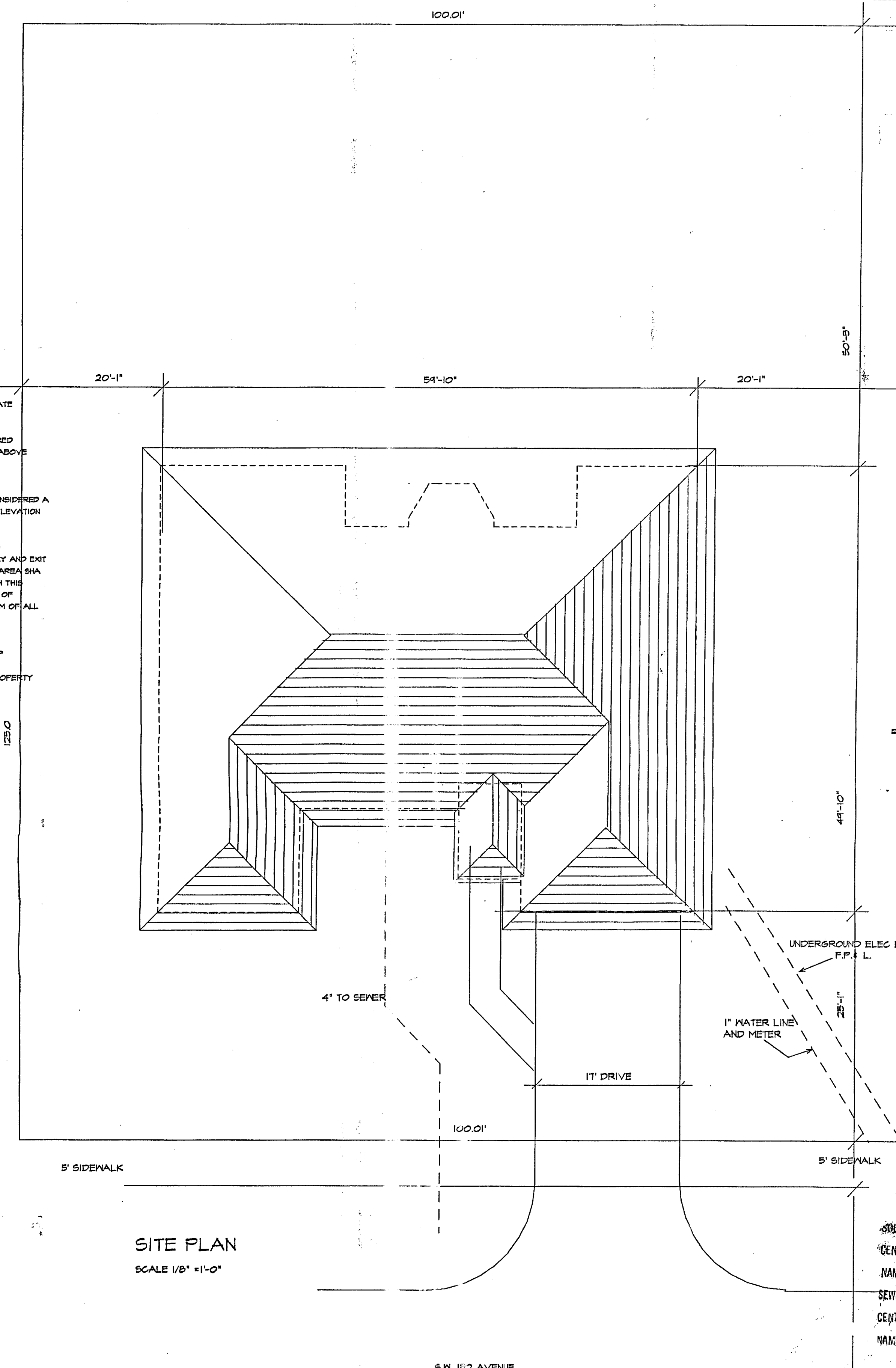
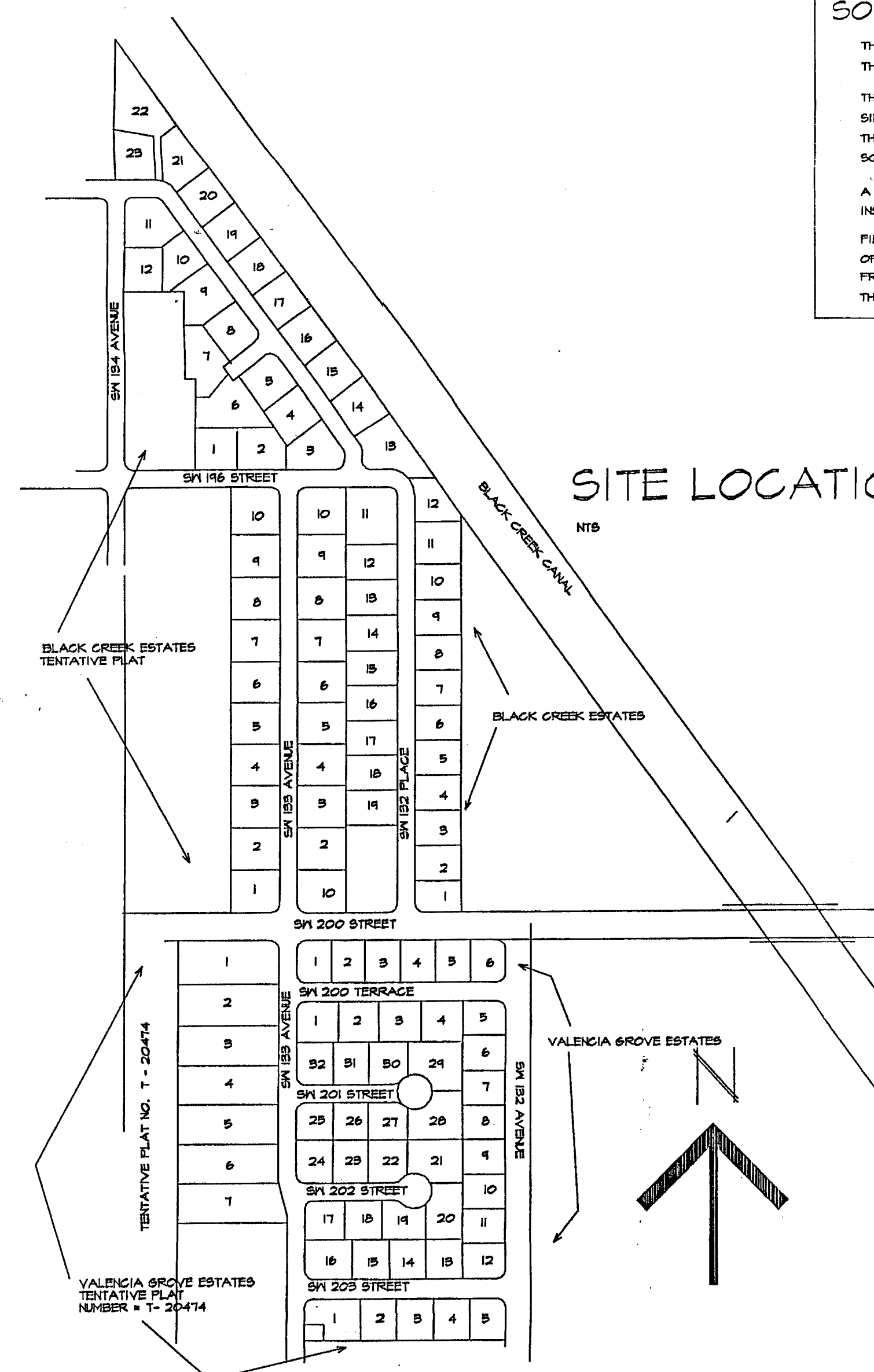
FILL REQUIRED FOR SUPPORT OF SLAB ON GRADE CONDITIONS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY UNDER THE SUPERVISION OF A SPECIAL INSPECTOR. A LETTER FROM THE SPECIAL INSPECTOR SHALL SUBMITTED TO THE MIAMI-DADE BUILDINGS INSPECTOR, AT THE TIME OF INSPECTION

LOWEST FINISHED FLOOR ELEVATION (INCLUDING BARGMENT)			
DISTRICT <u>AM</u>		ELEVATION <u> </u> 7.00	
CITY FLOOD CRITERIA <u>5.0'</u>		CROWN OF ROAD <u> </u>	
DISTRICTS	CUL	S.F.H.	OTHER
REQUIRED	/	/	/
PROPOSED *	/	10.0'	/
LOWEST FLOOR AS-BUILT ELEVATION SURVEY IS REQUIRED BEFORE MAKING ANY INSPECTION ABOVE LOWEST FLOOR			
*SHALL BE <u> 3 </u> INCHES ABOVE FINISHED GRADE			

ZONING RU - 1
HEIGHT TO RIDGE OF ROOF
NET LAND AREA
LOT COVERAGE (EVERYTHING UNDER ROOF)

SETBACKS FRONT
SIDE
SIDE STREET
REAR
LOT AREA
LOT COVERAGE

16'-0"
12501 5F
2754'
25'-1"
20'-1"
50'-9"
12501 5F
2728'



SITE PLAN
SCALE 1/8" = 1'-0"

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OR RELOCATION OF GAS LINES IN THE PATH OF CONSTRUCTION.

SOURCE OF WATER - WELL No
CENTRAL WATER CO. —
NAME OF CO. WAS
SEWER DISPOSAL SEPTIC TANK No
CENTRAL COLLECTION SYSTEM —
NAME OF CO. WAS

METRO MADE

APPROVED FOR MASTER MOD.

BY _____ DATE _____

BLDG.	<i>[Signature]</i>	<i>08/18/60</i>
STRU.		
PLUM.	<i>Ufr</i>	<i>3-3-01</i>
ELEC.		
MECH.		
ENERGY		

PLANNING DEVELOPMENT AND REGULATION DEPARTMENT

THIS IS AN OFFICIAL APPROVED DRAWING.

BEFAPS WILL BE NULL AND VOID IF ALTERED

3510 BISCAYNE BOULEVARD SUITE 203 B
MIAMI FLORIDA, 33137 (305)-576-0631

VALENCIA GROVE ESTATES AND BLACK CREEK ESTATES SUBDIVISION
POINCIANA DEVELOPMENT COMPANY II
5065 SAJOT AVENUE
MIAMI FLORIDA 33115
PHONE 505-254-6363

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